

ROELAND PARK

MIXED-USE DEVELOPMENT
EPC REAL ESTATE GROUP
PRELIMINARY DEVELOPMENT PLAN

10.04.2022

REVISED ON
11.01.2022



DEVELOPER
EPC REAL ESTATE GROUP
8001 METCALF AVE. SUITE #300
OVERLAND PARK, KS 66204
913-722-2600

ARCHITECT
DLR GROUP
7290 W. 133RD ST
OVERLAND PARK, KS 66213
913-897-7811

CIVIL ENGINEER
KIMLEY HORN
805 PENNSYLVANIA AVENUE,
SUITE 150
KANSAS CITY, MO 64105
816-652-0350

LANDSCAPE ARCHITECT
RICHARD CLAYTON BARRETT
913-522-4259

MEP ENGINEER
SMITH & BOUCHER, INC.
25618 W 103RD ST
OLATHE, KS 66061
913-345-2127

SHEET LIST
C1 EXISTING CONDITIONS
C2 SITE PLAN
C3 GRADING PLAN
EX1 FIRE TRUCK TURNING EXHIBIT
L1.0 LANDSCAPE PLAN
E1.0 PHOTOMETRIC PLAN
A1.1 ARCHITECTURAL FLOOR PLANS
A1.2 ARCHITECTURAL FLOOR PLANS
A1.3 ARCHITECTURAL FLOOR PLANS
A1.4 ARCHITECTURAL FLOOR PLANS
A4.1 ARCHITECTURAL ELEVATIONS
A4.2 ARCHITECTURAL RENDERINGS

ROELAND PARK MIXED-USE PROJECT
EPC REAL ESTATE GROUP LLC

ROE AVE AND W 147TH ST

OVERLAND PARK, KS 66205

PRELIMINARY
DEVELOPMENT
PLAN
10/04/22

REVISIONS
1 - 11/01/2022

12-22109-00
COVER SHEET

A0.0

LEGAL DESCRIPTION

PER FIRST AMERICAN TITLE INSURANCE COMPANY, LLC
COMMITMENT NUMBER: NCS-1107019-OR-MHA
EFFECTIVE DATE: JANUARY 04, 2022, AT 8:00 A.M.

TRACT 1:

ALL THAT PART OF THE NORTHWEST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$ AND THAT PART OF THE NORTHEAST $\frac{1}{4}$ OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 12, RANGE 25, JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHEAST $\frac{1}{4}$ OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 12, RANGE 25, JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS: THENCE NORTH 18° 09' 30" WEST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 155.52 FEET TO THE TRUE POINT OF BEGINNING OF THE TRACT HEREIN TO BE DESCRIBED; THENCE NORTH 18° 09' 30" WEST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 135.48 FEET; THENCE NORTH 43° 15' 30" WEST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 330 FEET; THENCE NORTH 46° 42' 10" EAST, A DISTANCE OF 268.33 FEET; THENCE NORTH 46° 46' 51" EAST, A DISTANCE OF 138.20 FEET; THENCE SOUTH 09° 28' EAST, ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 623.37 FEET; THENCE DUE WEST AND PARALLEL TO THE SOUTH LINE OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 4, A DISTANCE OF 399.19 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART IN STREETS AND ROADS, AND EXCEPT:

A PARCEL OF GROUND SITUATED IN THE NORTHWEST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 12, RANGE 25, JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID QUARTER QUARTER SECTION, THENCE NORTH 17° 31' 08" WEST ALONG THE EASTERLY RIGHT-OF-WAY OF 18TH STREET EXPRESSWAY, AS ESTABLISHED AUGUST 31, 1988, BY A DEED FOR STREET AND HIGHWAY PURPOSES, FILED IN THE JOHNSON COUNTY REGISTER OF DEEDS OFFICE IN BOOK 389, PAGED 335-342, A DISTANCE OF 155.52 FEET; THENCE SOUTH 89° 21' 39" EAST AND PARALLEL WITH THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, A DISTANCE OF 208.33 FEET; TO THE TRUE POINT OF BEGINNING OF THE TRACT HEREIN TO BE DESCRIBED; THENCE NORTH 40° 05' 53" EAST, A DISTANCE OF 68.07 FEET; THENCE ON A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 215.00 FEET, AN ARC DISTANCE OF 137.05 FEET; THENCE SOUTH 54° 46' 51" EAST, A DISTANCE OF 17.73 FEET, TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF ROE BOULEVARD AS SAID BOULEVARD NOW EXISTS; THENCE NORTH 09° 28' 30" EAST, ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 20.60 FEET; THENCE SOUTH 53° 31' 27" WEST, A DISTANCE OF 13.83 FEET; THENCE NORTH 89° 21' 39" WEST, AND PARALLEL WITH THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, A DISTANCE OF 56.18 FEET, TO THE TRUE POINT OF BEGINNING, AND EXCEPT:

A PARCEL OF GROUND SITUATED IN THE NORTHWEST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 12, RANGE 25, JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID QUARTER QUARTER SECTION, THENCE NORTH 17° 31' 08" WEST ALONG THE EASTERLY RIGHT-OF-WAY OF 18TH STREET EXPRESSWAY, AS ESTABLISHED AUGUST 31, 1988, BY A DEED FOR STREET AND HIGHWAY PURPOSES, FILED IN THE JOHNSON COUNTY REGISTER OF DEEDS OFFICE IN BOOK 389, PAGES 335-342, A DISTANCE OF 155.52 FEET; THENCE SOUTH 89° 21' 39" EAST, AND PARALLEL WITH THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, A DISTANCE OF 264.51 FEET, TO THE TRUE POINT OF BEGINNING OF THE TRACT HEREIN TO BE DESCRIBED; THENCE NORTH 31° 37' EAST, A DISTANCE OF 132.40 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF ROE BOULEVARD AS SAID BOULEVARD NOW EXISTS; THENCE SOUTH 08° 49' 38" EAST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 95.38 FEET; THENCE NORTH 89° 21' 39" WEST AND PARALLEL TO THE SOUTH LINE OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 4, A DISTANCE OF 134.68 FEET; THENCE SOUTH 08° 49' 38" EAST, AND PARALLEL WITH THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, A DISTANCE OF 56.18 FEET, TO THE TRUE POINT OF BEGINNING, EXCEPT THAT PART USED OR DEDICATED FOR STREETS, ROADS OR PUBLIC RIGHT OF WAY.

TRACT 2:

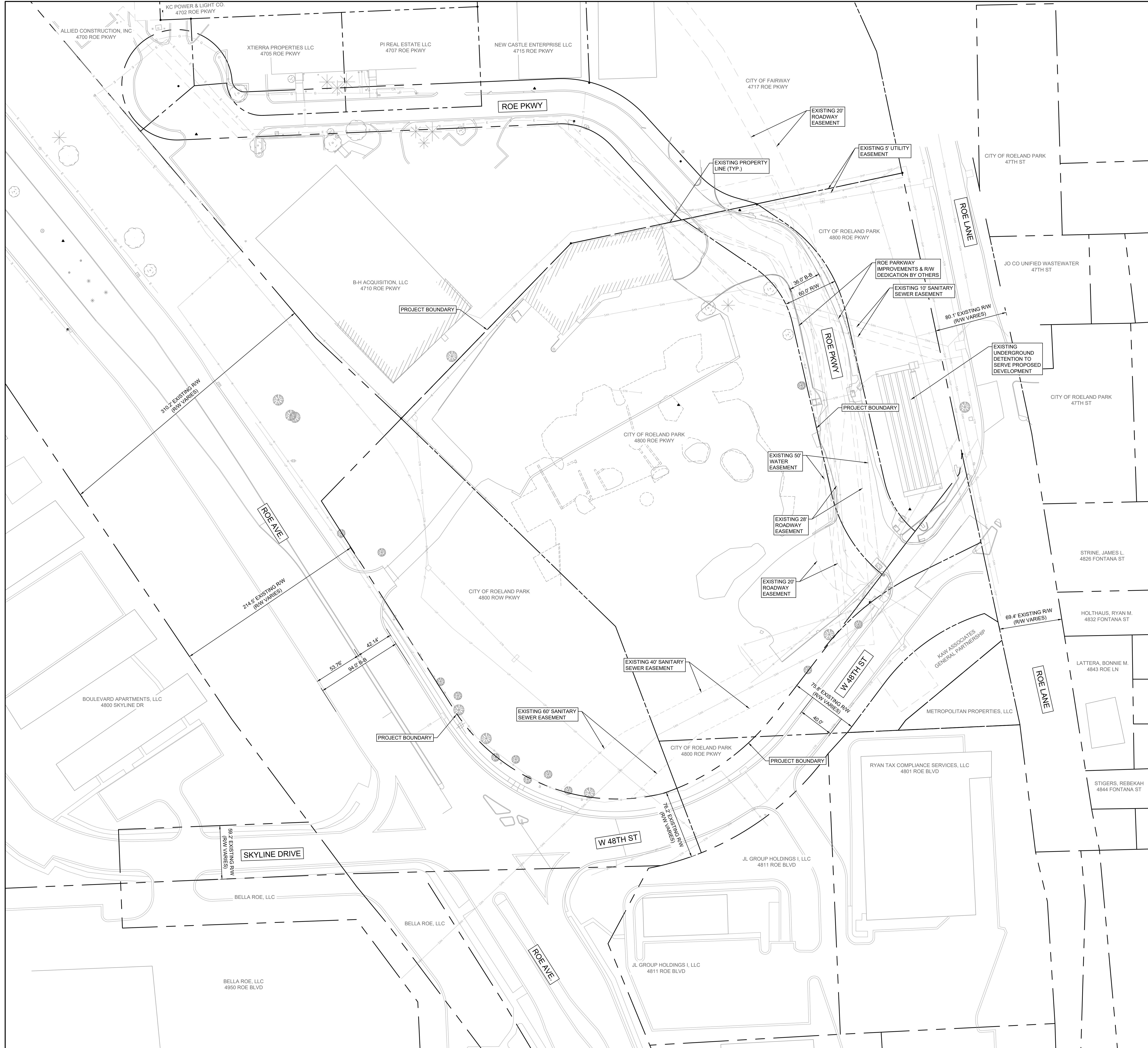
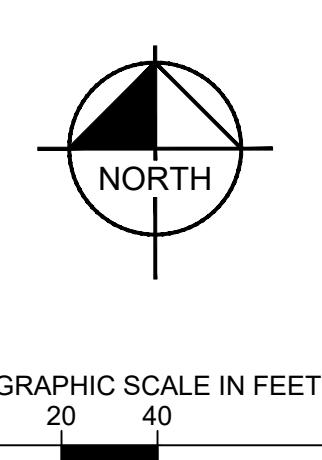
A TRACT OF LAND IN THE NORTH ONE-HALF (N $\frac{1}{2}$) OF THE NORTH ONE-HALF (N $\frac{1}{2}$) OF SECTION 4, TOWNSHIP 12, RANGE 25, JOHNSON COUNTY, KANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

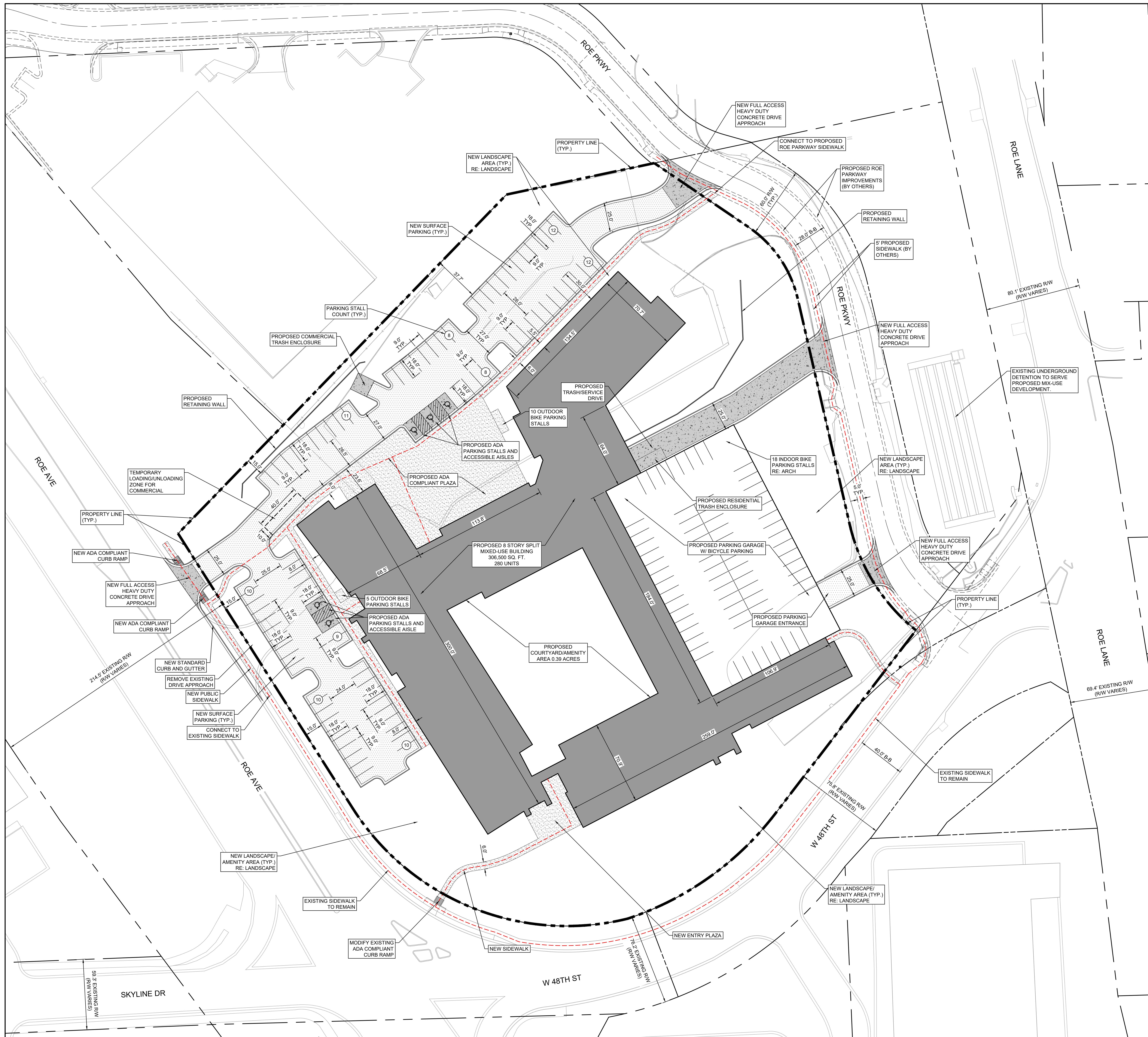
COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 12, RANGE 25, JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS: THENCE NORTH 18° 09' 30" WEST ALONG THE EASTERLY RIGHT-OF-WAY OF 18TH STREET EXPRESSWAY, AS ESTABLISHED AUGUST 31, 1988, BY A DEED FOR STREET AND HIGHWAY PURPOSES, FILED IN THE JOHNSON COUNTY REGISTER OF DEEDS OFFICE IN BOOK 389, PAGES 335-342, A DISTANCE OF 155.52 FEET; THENCE NORTH 43° 15' 30" WEST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 135.48 FEET; THENCE NORTH 46° 42' 10" EAST, A DISTANCE OF 268.33 FEET; THENCE NORTH 46° 46' 51" EAST, A DISTANCE OF 138.20 FEET; THENCE SOUTH 09° 28' EAST, ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 623.37 FEET; THENCE DUE WEST AND PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 4, A DISTANCE OF 399.19 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART USED OR DEDICATED FOR STREETS, ROADS OR PUBLIC RIGHT OF WAY.

EXCEPT THAT PART DEDICATED FOR PUBLIC STREET BY BOOK 4140 AT PAGE 334.

AND EXCEPT ANY OTHER PART USED OR DEDICATED FOR STREETS, ROADS AND PUBLIC RIGHTS OF WAY.

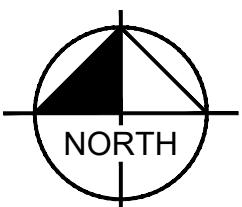
THE ABOVE TRACTS TO BE PLATTED AS THE ROCKS, A SUBDIVISION IN THE CITY OF ROELAND PARK, JOHNSON COUNTY, KANSAS.





SITE PLAN LEGEND

Development Summary Table		
A	Zoning	
	Existing	CP-2
B	Total Land Area	
	Existing	5.79 Acres
C	Right-of-way	
	Existing	0.00 Acres
D	Net Land Area	
	Existing	5.79 Acres
E	Proposed Uses	
	Mixed-Use (Multi-Family, Restaurant, & Amenity)	
F	Structure Height & # of floors	
	Number of Floors	8
G	Gross Floor Area & # of Units	
	Total Building Count	1
H	Vehicle Parking	
	Total Gross Floor Area (SF)	306,500
I	Total Unit Count	
	Parking Stalls Required*	280
J	Vehicle Parking	
	Private Garage Stalls Provided	330
K	Public Surface Stalls Provided	
	ADA Parking Stalls Required	90
L	ADA Parking Stalls Provided	
	Total Parking Stalls Provided	5
M	Bike Parking	
	Stalls Required*	390
N	Bike Parking	
	Stalls Provided	33
O	Timeline	
	Estimated Start Date	6/1/2023
P	Estimated Completion Date	
	Estimated Completion Date	12/1/2024
Q	Requested Deviations	
	1. Request to Allow Parking Between Structure and Roe Avenue Right-Of-Way	
R	*Parking Notes:	
	Multi-Family: 1.0 Stall/ 1 Bed Dwelling Unit	
	1.5 Stall/ 2 Bed Dwelling Unit	
	Restaurants: 6 Stall/ 1000 SF	
	Bike Parking: 1 Stall/ 10 Required Parking Stalls	
	Handicap Parking: 1 Stall/ 25 Stalls Rounded Up	



GRAPHIC SCALE IN FEET

0 15 30 60

ROELAND PARK MIXED-USE PROJECT

EPC REAL ESTATE GROUP, LLC

Kimley»Horn

NOT FOR CONSTRUCTION


DLR GROUP

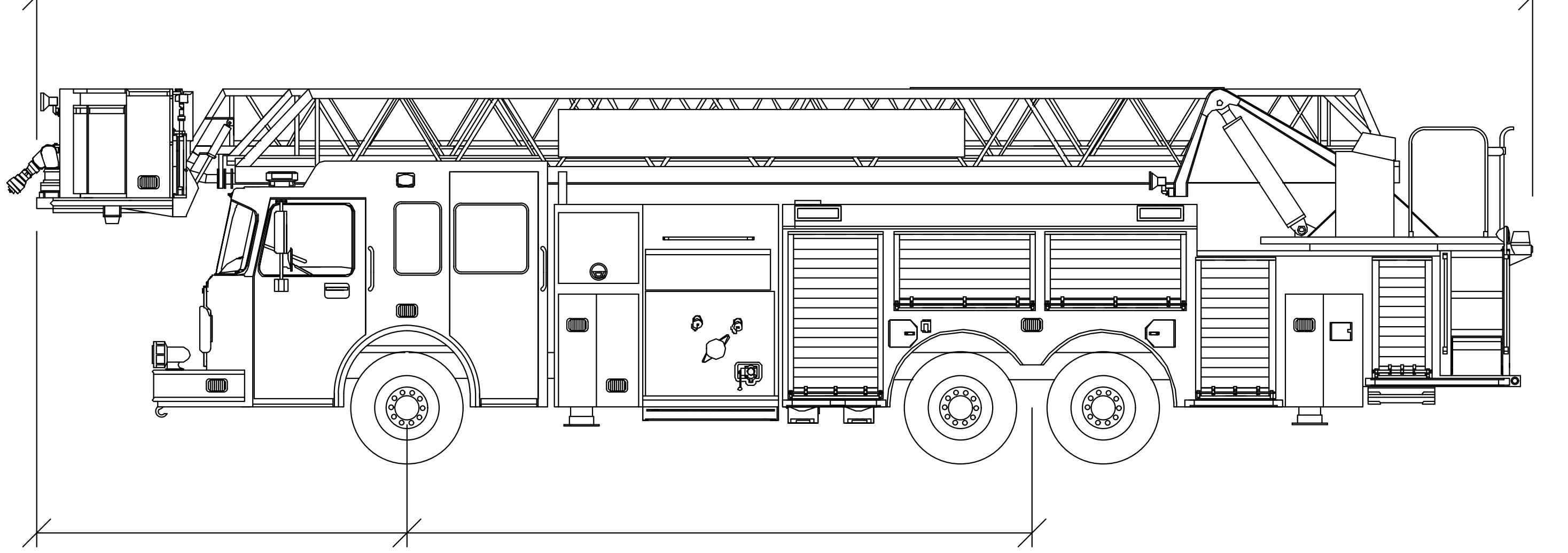
© DLR Group

10/04/22

SITE PLA

C2

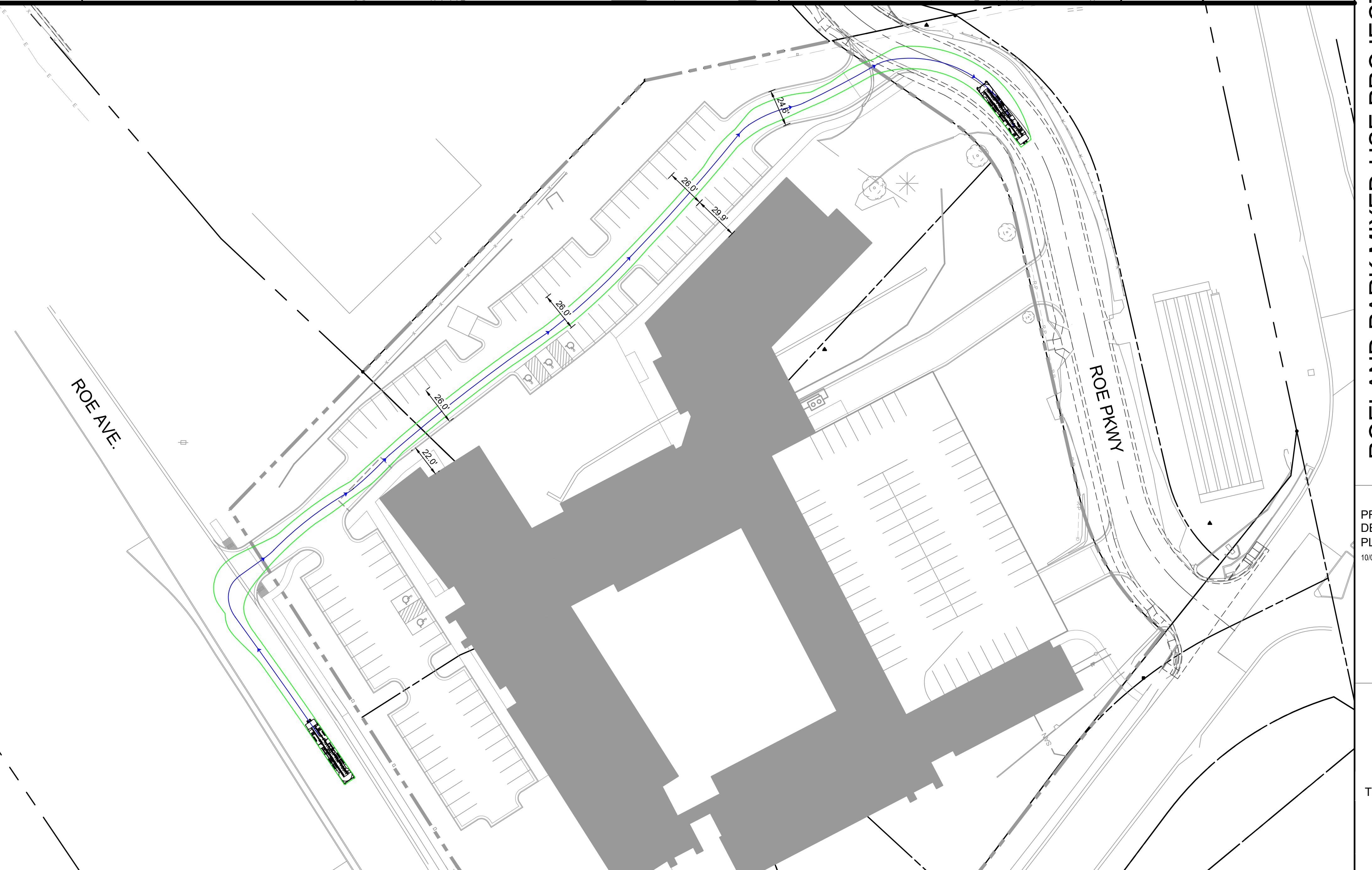
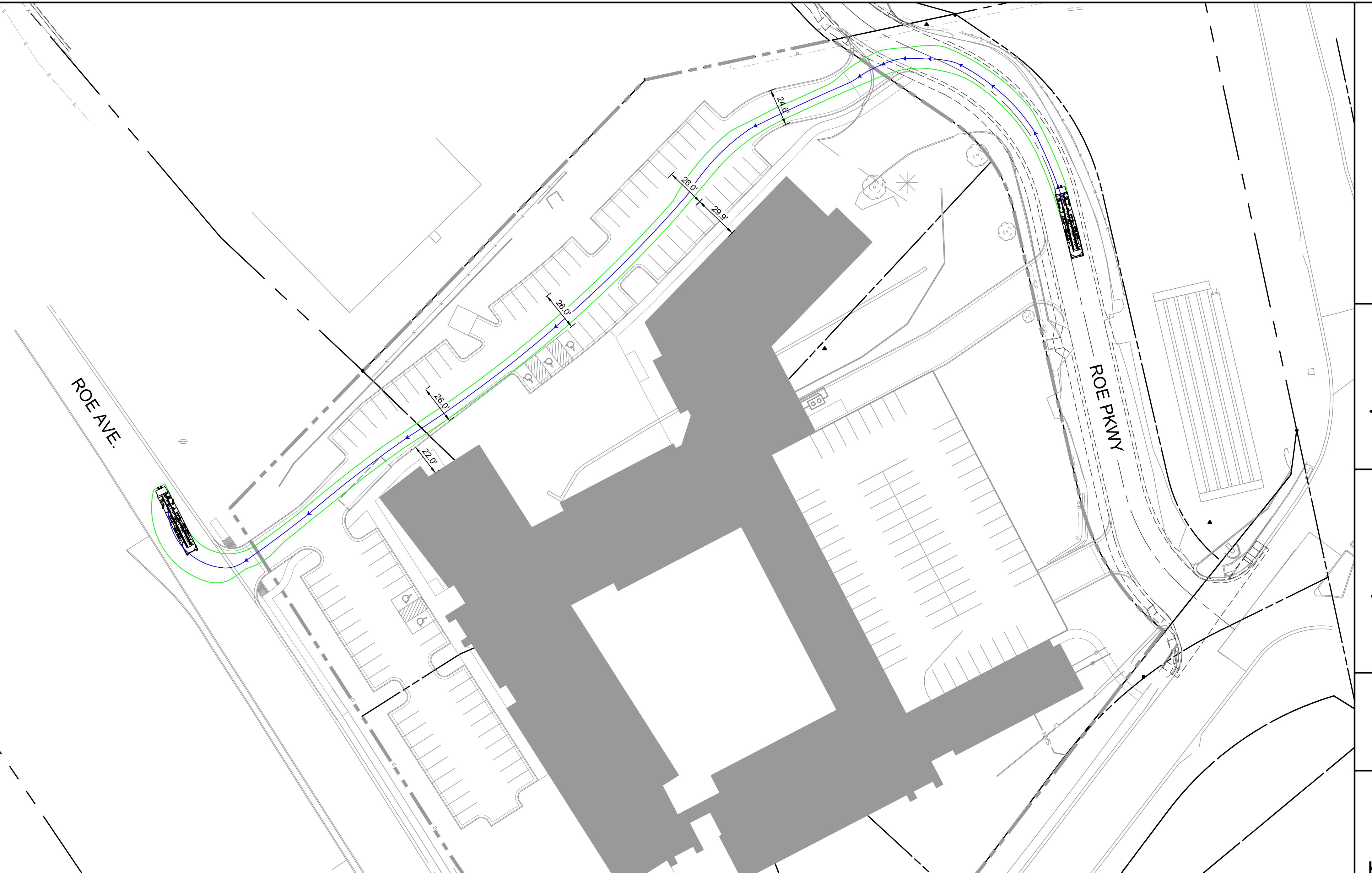




Smeal Platform RM 100ft

feet

Width	: 8.33
Track	: 7.83
Lock to Lock Time	: 6.0
Steering Angle	: 48.0





ROELAND PARK MIXED-USE PROJECT

EPC REAL ESTATE GROUP LLC

PRELIMINARY
DEVELOPMENT
PLAN
10/04/22

ROE AVE AND W 48TH ST

ROELAND PARK KS 68105

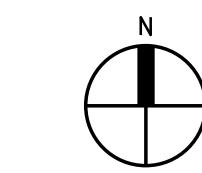
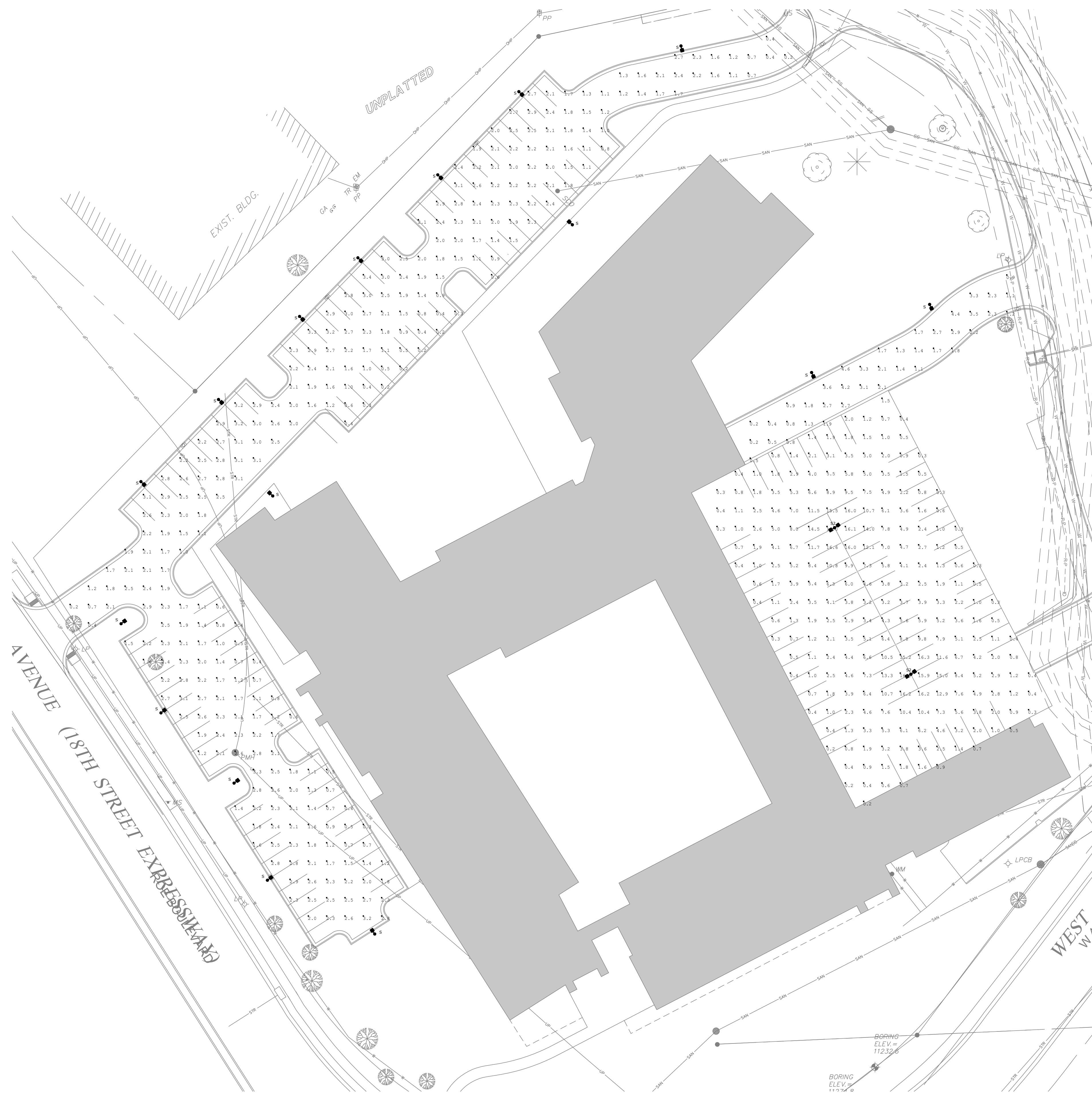
12-22109-00

PHOTOMETRIC
SITE PLAN

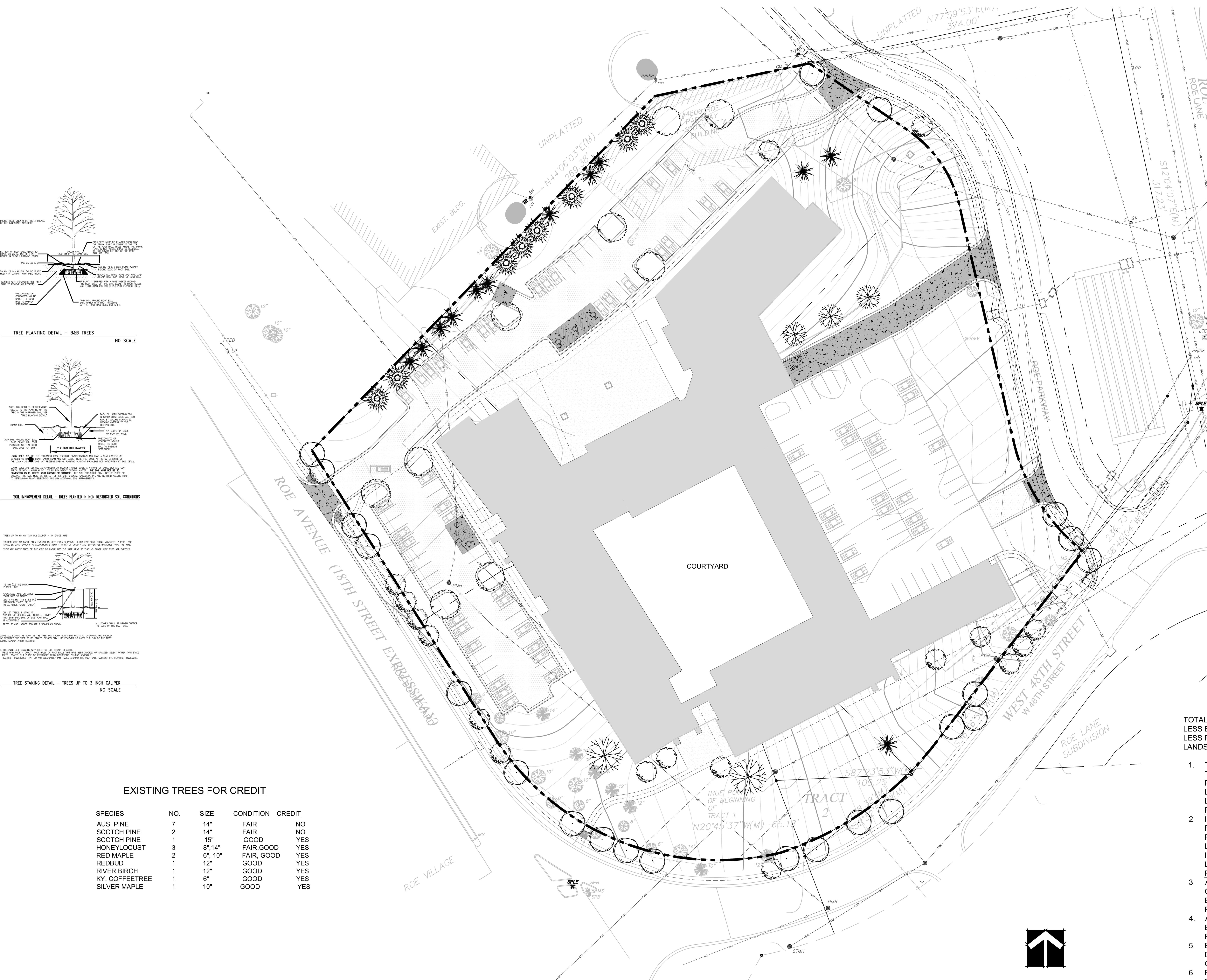
E1.01

EXTERIOR LIGHT FIXTURE SCHEDULE					
TYPE	DESCRIPTION	MOUNTING	SOURCE	VOLTS	MANUFACTURER
S	SINGLE HEAD LED PARKING LOT POLE FIXTURE, TYPE IV (T4M) DISTRIBUTION. INTEGRAL 10% 0-10V DIMMING DRIVER. UL LISTED FOR WET LOCATIONS. ARM MOUNTED. MAXIMUM 1000mA DRIVE CURRENT, FULL CUTOFF. COORDINATE DESIRED FINISH WITH ARCHITECT. PROVIDE WITH 20'-0" SQUARE STEEL POLE.	CONCRETE BASE	21,857 LUMEN 3000K 90 CRI	UNV	LITHONIA SERIES DS2 MCGRAW EDISON SERIES GALLEON BEACON SERIES VIPER LSI SERIES MRM
S2	DUAL HEAD LED PARKING LOT POLE FIXTURE, TYPE V (T5M) DISTRIBUTION. INTEGRAL 10% 0-10V DIMMING DRIVER. UL LISTED FOR WET LOCATIONS. ARM MOUNTED. MAXIMUM 1000mA DRIVE CURRENT, FULL CUTOFF. COORDINATE DESIRED FINISH WITH ARCHITECT. PROVIDE WITH 12'-0" SQUARE STEEL POLE.	CONCRETE BASE	23,182 LUMEN 3000K 90 CRI	UNV	LITHONIA SERIES DS2 MCGRAW EDISON SERIES GALLEON BEACON SERIES VIPER LSI SERIES MRM

CALCULATION SUMMARY				
AREA NAME	AVE	MAX	MIN	AVE/MIN
PARKING GARAGE ROOF	4.2	16.6	0.2	21.0
PARKING	1.9	3.4	0.2	9.5
SERVICE DRIVE	2.0	4.6	0.2	9.8
NOTES:				23.0
1. ILLUMINANCE VALUES ARE IN FC.				



PHOTOMETRICS - SITE PLAN
SCALE: 1" = 30'-0"

LANDSCAPE ARCHITECTURAL SITE PLAN
PRELIMINARY/NOT FOR CONSTRUCTION/DO NOT SCALE DRAWING

RICHARD CLAYTON BARRETT
Richard Clayton Barrett, ASLA, LLC

7128 Nall Avenue
Overland Park, KS, 66208
Phone 913.362.1200
Fax 913.362.1171

30 0 30 60 90
Scale: 1" = 30'-0"

2" X 2" X 4' WOOD STAKES OR ORANGE
BARRICADE FENCING TO FORM A PROTECTIVE
LINE OF TREE OR SHRUB IF MINIMUM 10'
RADIUS OR ENTIRE DRILLING CANOPY
BE PROVIDED. SEE LANDSCAPE
ARCHITECT FOR BEST COURSE OF ACTION.

PROTECT FROM ALL CONSTRUCTION ACTIVITIES INCLUDING
EARTHWORK, MOVEMENT & STORAGE OF MATERIALS, VEHICULAR PARKING
MAINTAIN THROUGHOUT CONSTRUCTION PERIOD. WHERE PORTIONS OF THE
DRIPLINE ARE NOT FENCED OFF, A LAYER OF MULCH SHALL BE PROVIDED
TO PROTECT THE DRIP SYSTEM FROM EQUIPMENT DAMAGE. THE MULCH
LAYER SHALL BE 6" DEEP.

TREE PROTECTION DETAIL
No Scale

FINISH GRADE FOR LAWN
EXISTING SOIL
CLEAN CUT TO 3" DEEP WITH SPADE
OR EDGING MACHINE
SPECIFIED MULCH
SPECIFIED ROTOTILLED PLANTING MIX

GARDEN OR NATURAL BED EDGE
No Scale

IF PLANTING IN BED
AREAS, GRADE SMOOTH
FOR EASY MAINTENANCE
2" MULCH
BED AREA WILL BE
ROTOTILLED AND SHAM
USE SPECIFIED SOIL MIX

WATER AND TAMP TO REMOVE AIR
POCKETS

SHRUB PLANTING
No Scale

PLANT SPACING AS PER PLAN
2" MULCH INSTALLED
BEFORE PLANTING
PREPARE BED AS PER
WRITTEN SPECIFICATION

GROUNDCOVER OR PERENNIAL PLANTING DETAIL
No Scale

LANDSCAPE SITE CALCULATIONS

TOTAL SITE: 252, 213 Sq. Ft.
LESS BUILDING: 65,173 Sq. Ft.
LESS PARKING, WALKS 79,446 Sq. Ft.
LANDSCAPE OPEN SPACE 107,594 Sq. Ft.

1. THE ROELAND PARK UDO REQUIRES ONE TREE FOR EVERY 40' OF PUBLIC OR PRIVATE STREET FRONTAGE. 1496 LINEAL FEET REQUIRES 37 TREES LOCATED WITHIN THE SETBACK. REQUIREMENT MET
2. IN ADDITION TO THE REQUIRED TREES FOR STREET FRONTAGE, 1 TREE IS REQUIRED FOR EVERY 4000 SQ. FT. OF LANDSCAPE OPEN SPACE, WHICH MAY INCLUDE TREES REQUIRED IN PARKING LOTS. 27 TREES REQUIRED. REQUIREMENT MET
3. APPROPRIATE NUMBERS OF SHRUBS, GROUNDCOVER AND TURF SHALL ALSO BE INCLUDED TO FULFILL LANDSCAPE FUNCTION.
4. ALL LAND AREAS NOT COVERED BY BUILDING OR HARDCAPE SHALL BE PLANTED WITH TURF OR NATIVE GRASS.
5. EXISTING TREES ON THE SITE SAVED DURING CONSTRUCTION CAN BE CREDITED TOWARD THE REQUIREMENTS.
6. PARKING AND VEHICULAR USE AREAS REQUIRE PRIMARILY TREES TO LOWER AMBIENT PARKING LOT TEMPERATURES.

ROELAND PARK MIXED-USE PROJECT

EPC REAL ESTATE GROUP LLC

ROE AVE AND W 48TH ST
ROELAND PARK KS 68105

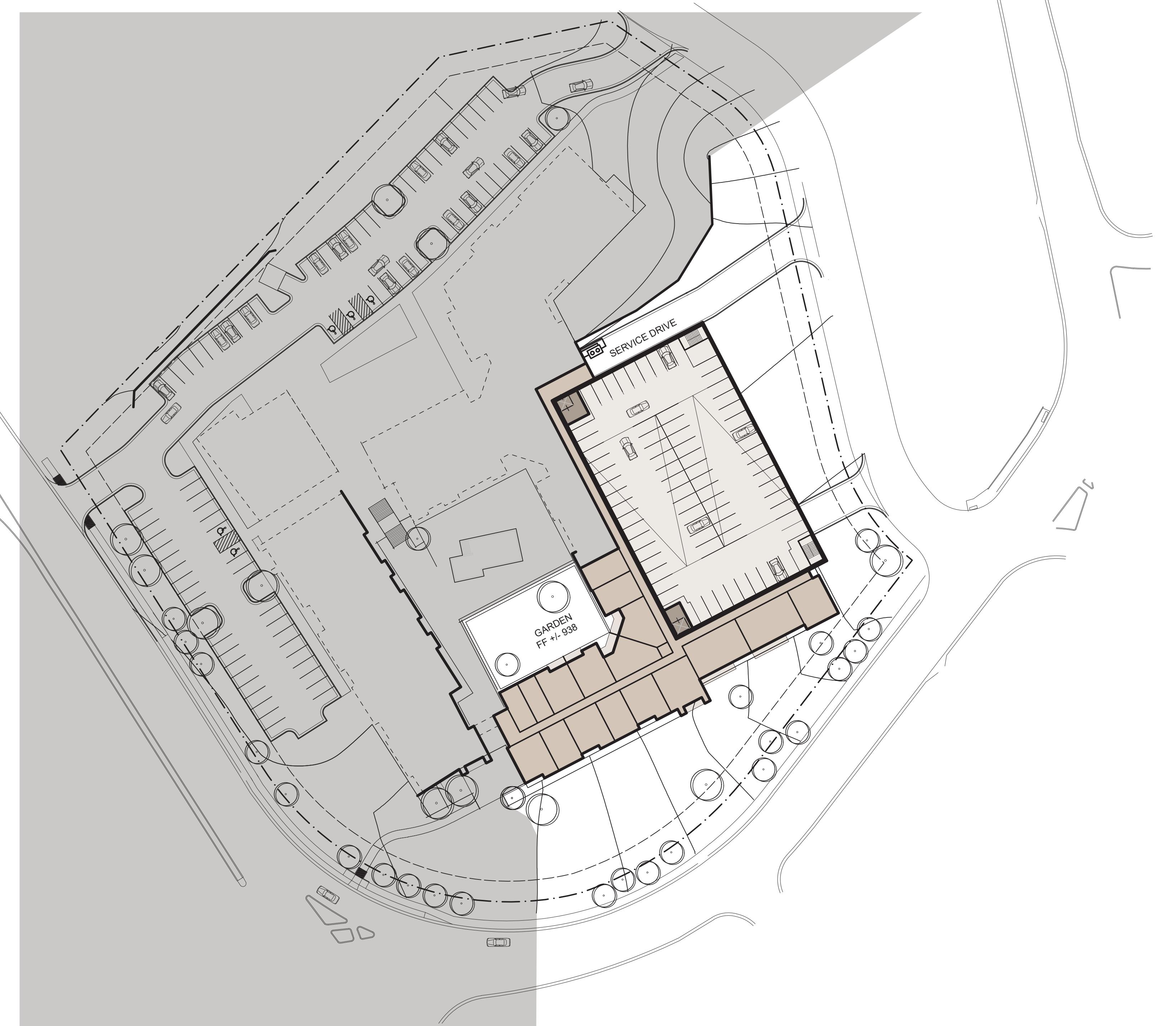
PRELIMINARY
DEVELOPMENT
PLAN
10/04/22

REVISIONS
1 - 11/01/2022

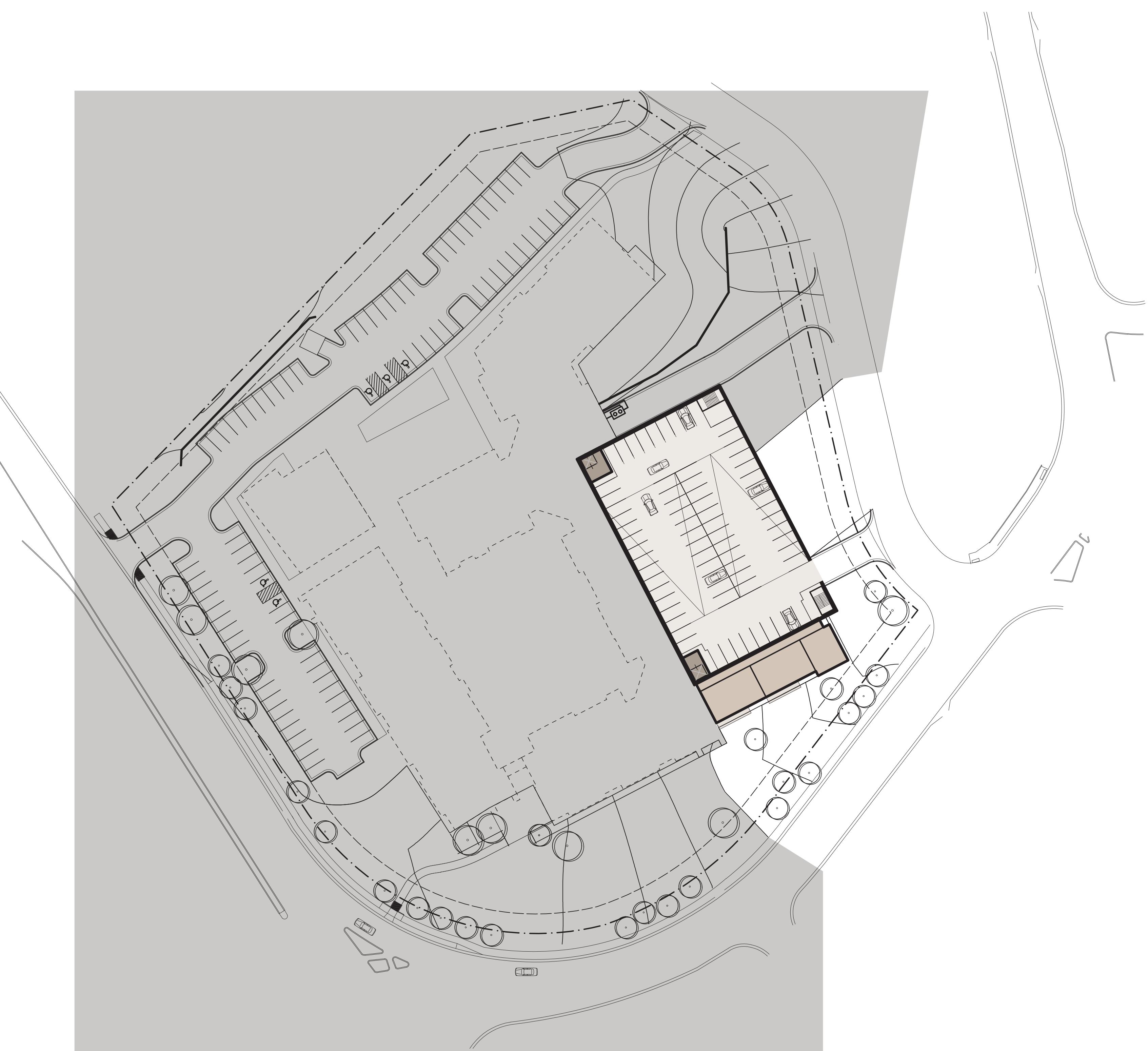
12-22109-00

ARCHITECTURAL
FLOOR PLANS

A1.1



FLOOR PLAN
LEVEL +/- 940
SCALE: 1" = 50'-0"



FLOOR PLAN
LEVEL +/- 929
SCALE: 1" = 50'-0"

ROELAND PARK MIXED-USE PROJECT

EPC REAL ESTATE GROUP LLC

ROE AVE AND W 48TH ST
ROELAND PARK KS 66205

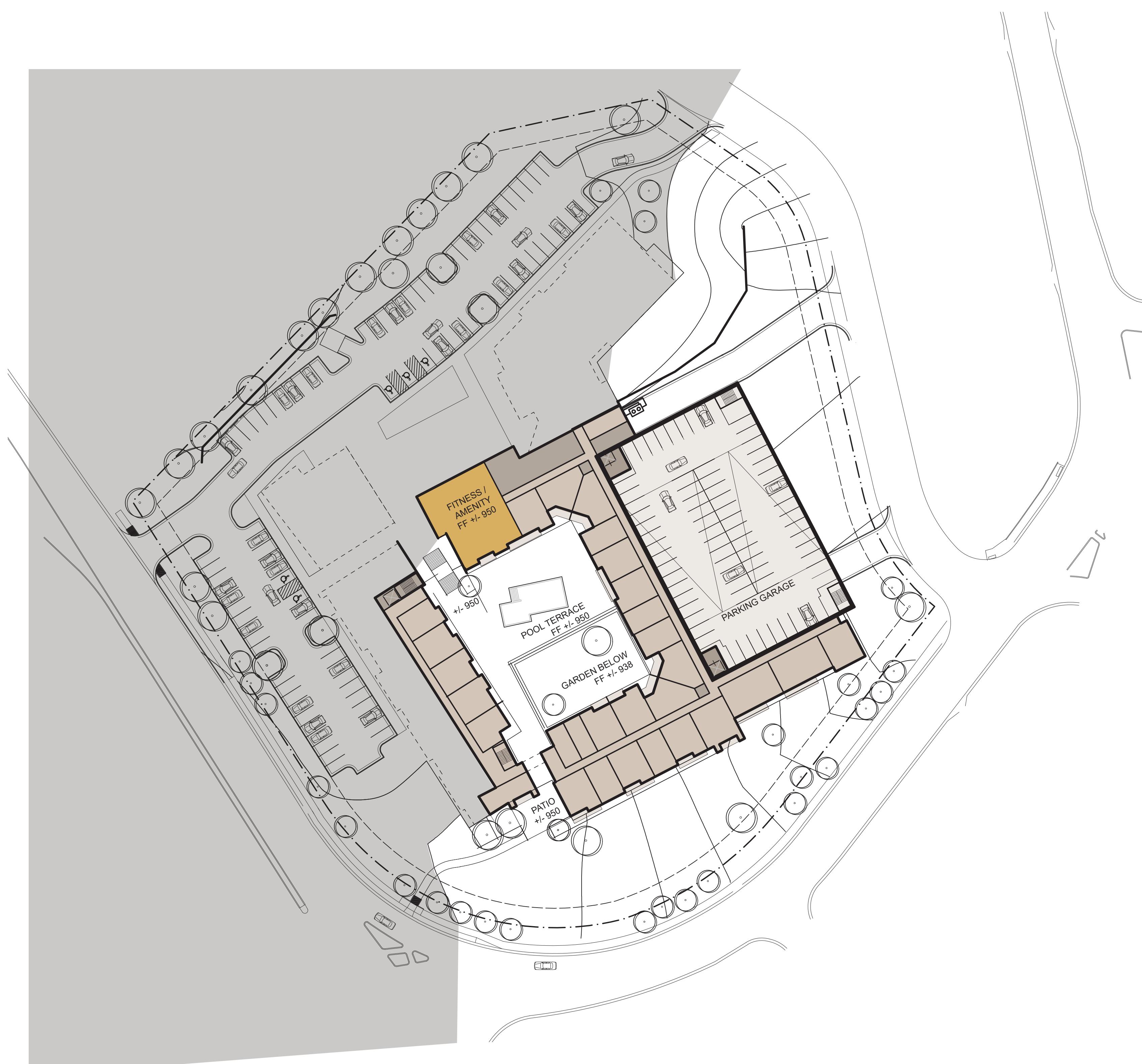
PRELIMINARY
DEVELOPMENT
PLAN
10/04/22

REVISIONS
1 - 11/01/2022

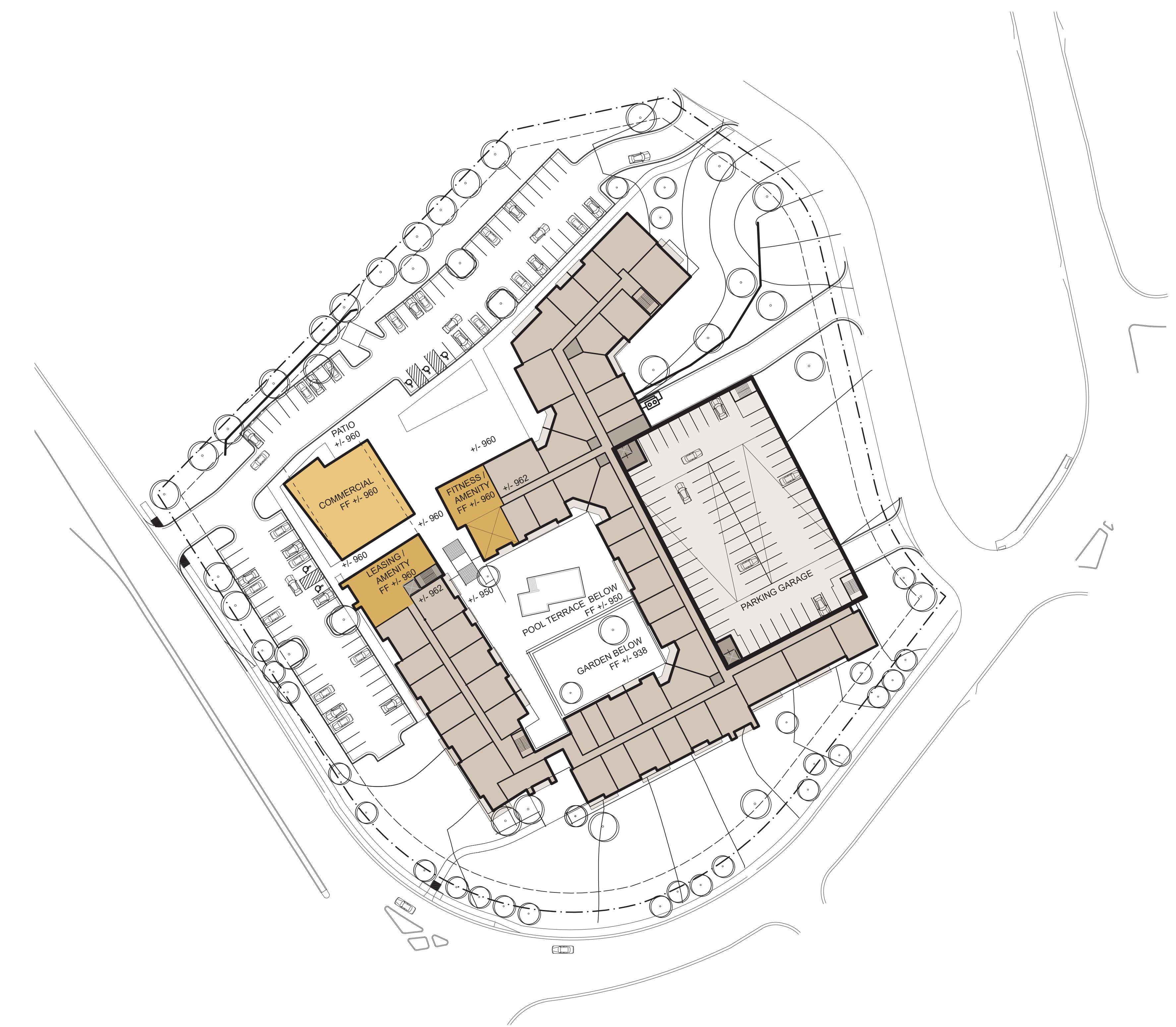
12-22109-00

ARCHITECTURAL
FLOOR PLANS

A1.2



FLOOR PLAN
LEVEL +/- 951
SCALE: 1" = 50'-0"



FLOOR PLAN
LEVEL +/- 962
SCALE: 1" = 50'-0"

NOT FOR
CONSTRUCTION.

ROELAND PARK MIXED-USE PROJECT

EPC REAL ESTATE GROUP LLC

ROE AVE AND W 48TH ST

ROELAND PARK KS 68105

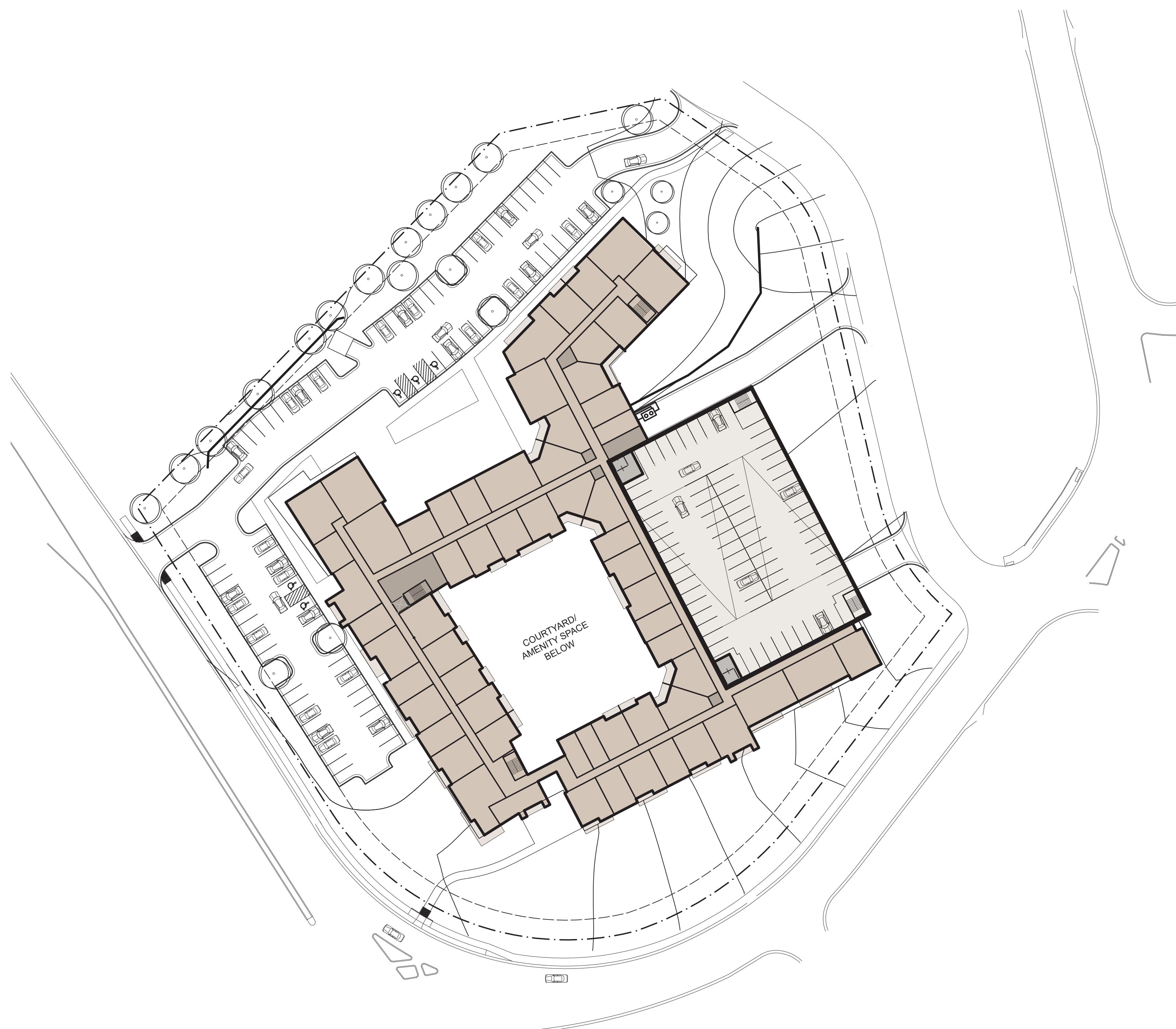
PRELIMINARY
DEVELOPMENT
PLAN
10/04/22

REVISIONS
1 - 11/01/2022

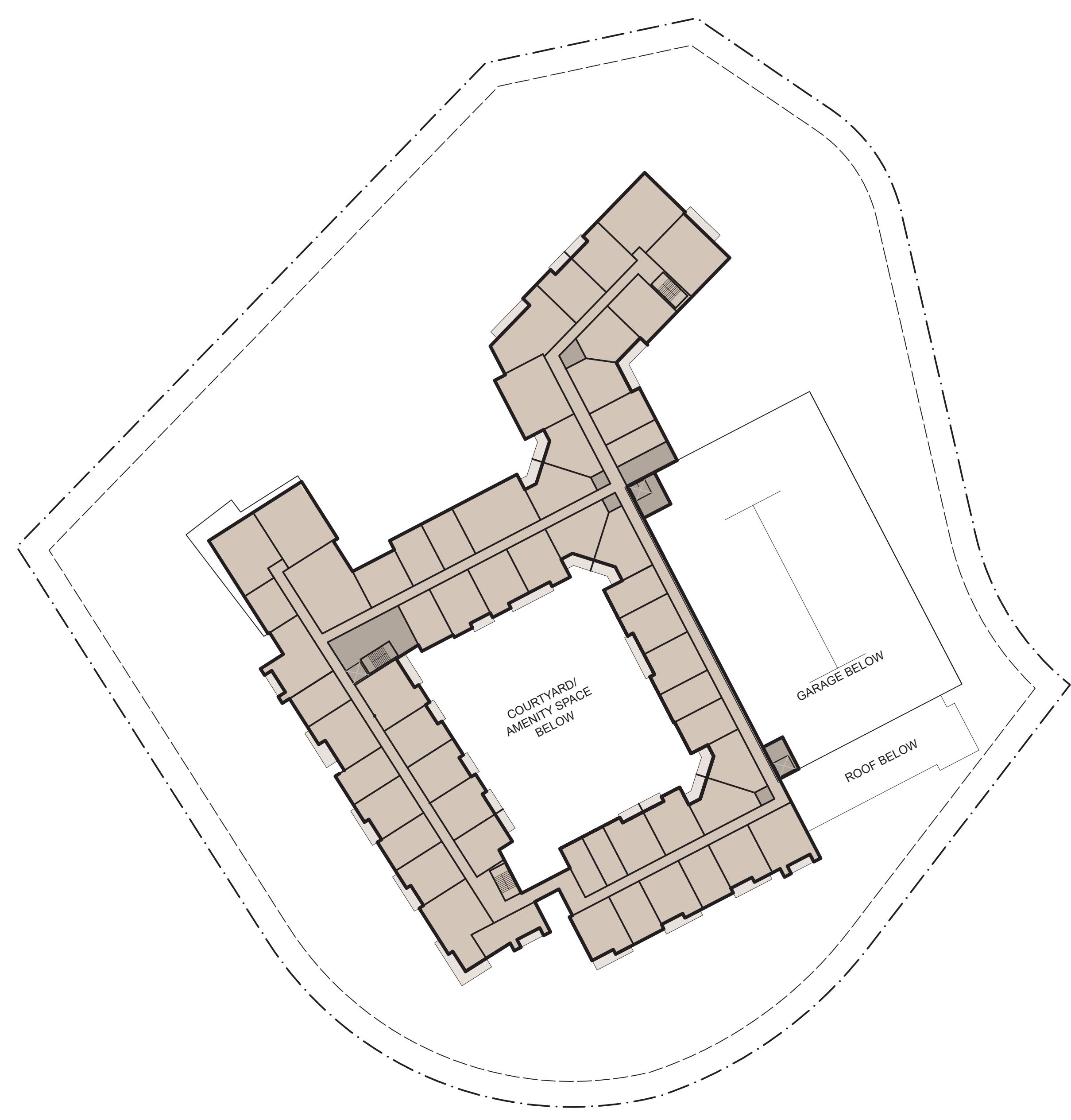
12-22109-00

ARCHITECTURAL
FLOOR PLANS

A1.3



FLOOR PLAN
LEVEL +/- 973
SCALE: 1" = 50'-0"



FLOOR PLAN
LEVEL +/- 984
SCALE: 1" = 50'-0"

ROELAND PARK MIXED-USE PROJECT

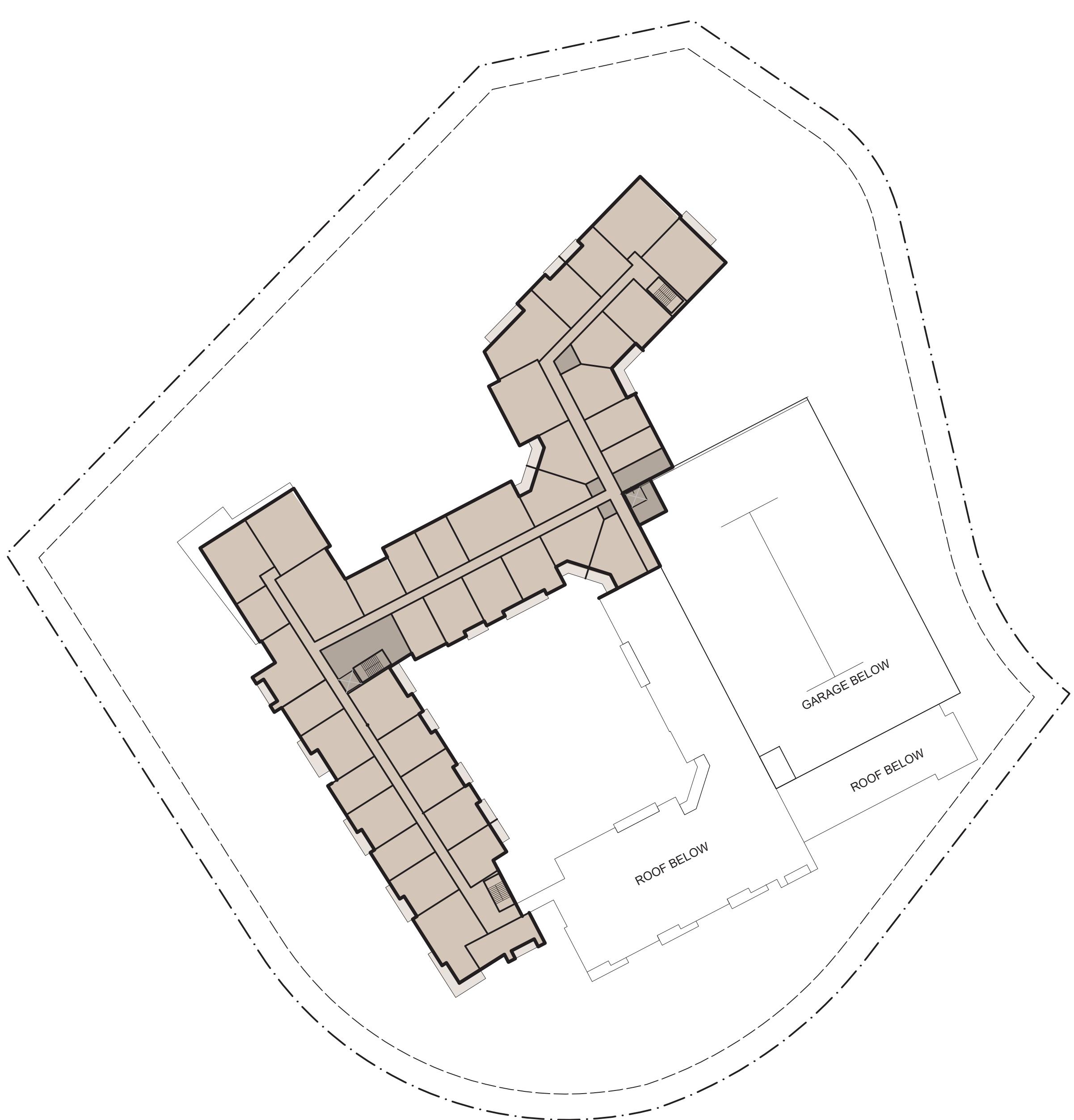
EPC REAL ESTATE GROUP LLC
ROE AVE AND W 48TH ST
ROELAND PARK KS 68105

PRELIMINARY
DEVELOPMENT
PLAN
10/04/22

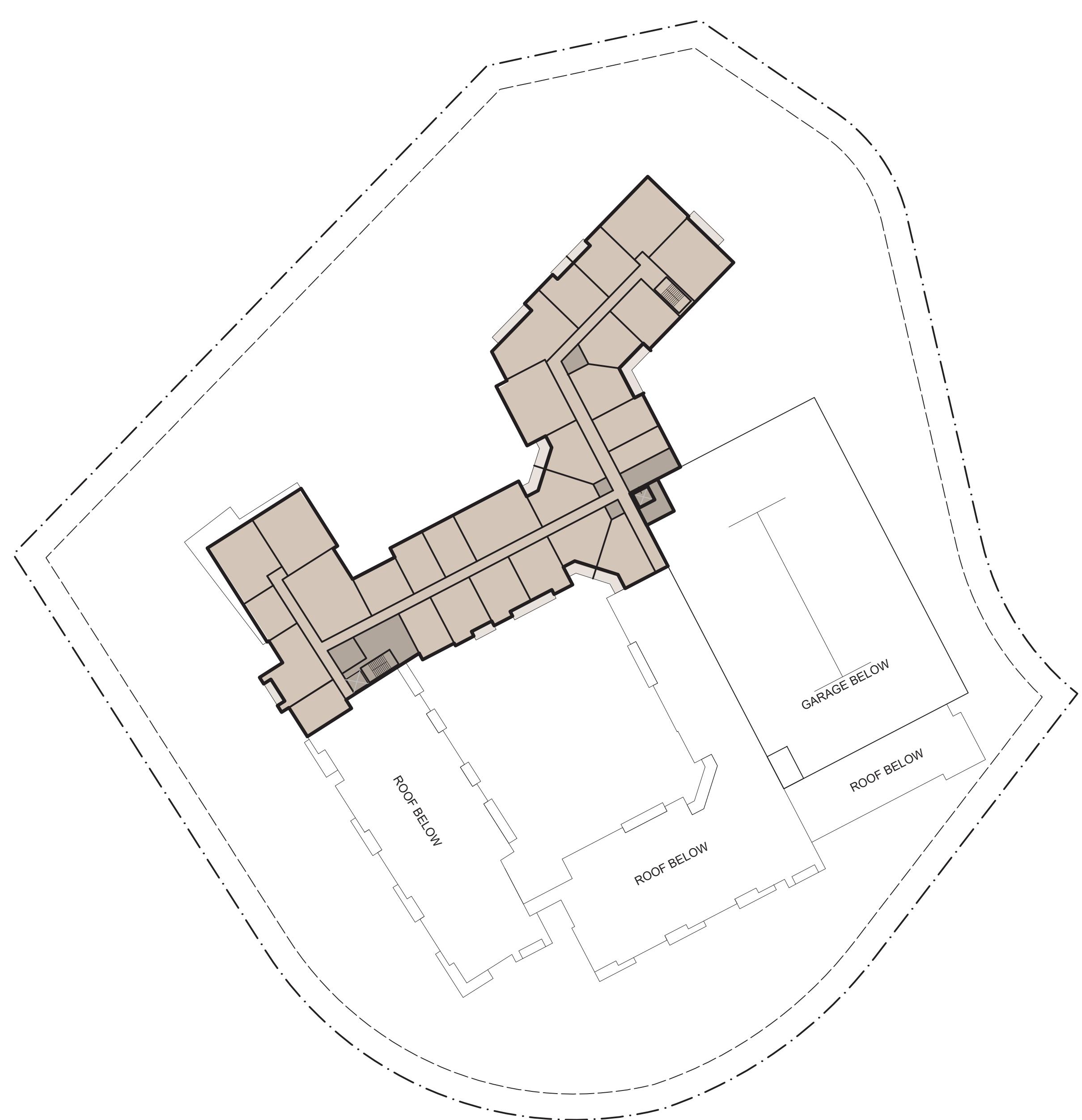
12-22109-00

ARCHITECTURAL
FLOOR PLANS

A1.4



FLOOR PLAN
LEVEL +/- 995
SCALE: 1" = 50'-0"



FLOOR PLAN
LEVEL +/- 1006
SCALE: 1" = 50'-0"



WEST ELEVATION



SOUTH ELEVATION

- LEGEND**
- ① CULTURED STONE
LIGHT COLORED
 - ② LAP SIDING
COLOR: BURNT UMBER
HARDIE BOARD OR SIMILAR
 - ③ BOARD AND BATTEN PANELS
COLOR: DARK TAUPE
HARDIE BOARD OR SIMILAR
 - ④ METAL FASCIA AND SOFFIT
 - ⑤ ALUMINUM STOREFRONT/
WINDOW SYSTEM

12-22109-00

ARCHITECTURAL
ELEVATIONS

A4.1

ROELAND PARK MIXED-USE PROJECT

EPC REAL ESTATE GROUP LLC

ROE AVE AND W 48TH ST
ROELAND PARK KS 68205

PRELIMINARY
DEVELOPMENT
PLAN
10/04/22



VIEW OF CORNER FROM ROE BLVD & 48TH STREET



VIEW OF COMMERCIAL SPACE FROM NORTHWEST VEHICULAR ACCESS

ROELAND PARK MIXED-USE PROJECT

EPC REAL ESTATE GROUP LLC

ROE AVE AND W 48TH ST
ROELAND PARK KS 68105

PRELIMINARY
DEVELOPMENT
PLAN
10/04/22

12-22109-00

ARCHITECTURAL
RENDERINGS

A4.2